CHANGE OF USE
SITE DEVELOPMENT PLANS

349 MAST ROAD
Madbury, New Hampshire
Lot No. 63, Tax Map 9
March 15, 2013

REVISED THROUGH APRIL 3, 2013
REVISED THROUGH APRIL 22, 2013

DOVER PLANNING FILE No. P 13–14

prepared for:
Candia So. Branch Brook Holdings, LLC
P.O. Box 410
Candia, NH 03034

prepared by:
Civilworks, Inc.
P.O. Box 1166
181 Watson Road
Dover, NH 03820
Tel. 749–0443

surveyor:
McEneaney Survey Associates, Inc.
P.O. Box 681
24 Chestnut Street
Dover, NH 03821
Tel. 742–0911

soil scientist:
Joseph W. Noel
P.O. Box 174
South Berwick, ME 03908
Dover, NH 03821
Tel. (207) 384–5587

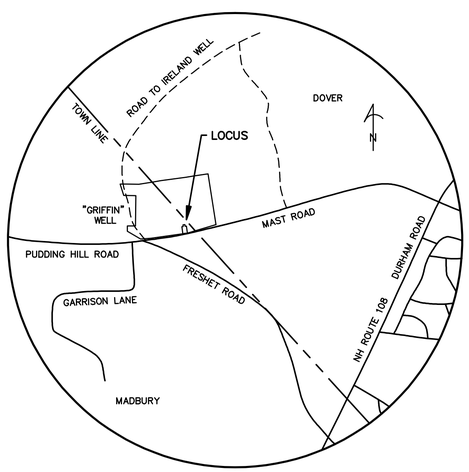
ABUTTERS LIST:

MADBURY

9	19	Abbie Nixon Kiefer & Benjamin J. Kiefer	3 Freshet Road,, Madbury, NH 03823
9	45	Kevin M. Lowell & Heather Shore	53 Pudding Hill Road, Madbury, NH 03823
9	600	Joan C. Burkholder	4 Garrison Lane, Madbury, NH 03823
9	60P	Eric M. Nikitin & Stacy M. Nikitin	2 Garrison Lane, Madbury, NH 03823
9	61	John W. Wetherbee & Sean Pratt	7 George Bennett Road, Lee, NH 03861
9	63A	Paul Martel & Lionel Martel	92 Old Mill Lane, Rollinsford,NH 03869–5904
9 (Applicant)	63	Candia So. Branch Brook Holdings, LLC	P.O. Box 410, Candia, NH 03034
9	64	James P. Griffin	P.O. Box 907, Portsmouth, NH 03801
9	65	City of Dover	288 Central Avenue, Dover, NH 03820
9	66	Scott D. Nicol & Diane D. Nicol	6 Freshet Road, Madbury, NH 03823

DOVER

H	5B	Stacey A. MacDonald	330 Mast Road, Dover, NH 03820
H	5B–1	David D. Browne, Jr. & Pamela R. Browne	324 Mast Road, Dover, NH 03820
H	59, 59–1	Candia So. Branch Brook Holdings, LLC	P.O. Box 410, Candia, NH 03034
H	60	Tyra, Inc.	P.O. Box 907 Portsmouth, NH 03801
H (Applicant)	61	Candia So. Branch Brook Holdings, LLC	P.O. Box 410, Candia, NH 03034



LOCATION PLAN
1" = 1,000'±

Plan Index

GENERAL NOTES:

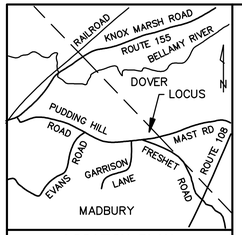
1.) PLAN INTENT: To depict the layout and construction details of proposed site improvements associated with change of use of an existing truck repair shop to a construction equipment rental facility.

2.) The Plans and Specifications are intended to be explanatory of the work to be done and of each other, but should any omission, errors or discrepancies appear, they shall be subject to correction and interpretation by the "Design Engineer" thereby defining and fulfilling the intent of the plans.

3.) All existing utility locations are approximate as shown. The contractor shall verify their exact locations with the respective utility owners prior to work being performed, call DIGSAFE at 1–888–344–7233.

LEGEND

E / 29 – TAX MAP No. / LOT No.
S.C.R.D. – STRAFFORD COUNTY REGISTRY OF DEEDS
S.F. – SQUARE FEET
N/F – NOW OR FORMERLY
TYP – TYPICAL
SGC – SLOPED GRANITE CURB
FT. – FEET OR FOOT
– UTILITY POLE
– GUY WIRE
O/HW – OVERHEAD UTILITY WIRES
O/HE – OVERHEAD ELECTRIC
O/HT – OVERHEAD TELEPHONE
O/HCATV – OVERHEAD CABLE
WV – EXISTING WATER SHUT OFF VALVE
– EXISTING WATER SERVICE VALVE
– FIRE HYDRANT
– SEWER MANHOLE (EXISTING)
– LUMINAIRE (EXISTING)
12"D.I. W – EXISTING WATER MAIN, SIZE
18"PVC S – EXISTING SEWER MAIN, SIZE & TYPE
6" G – EXISTING GAS MAIN, SIZE
SWL – SINLGE WHITE LINE
DYL – DOUBLE YELLOW LINE
BIT. – BITUMINOUS
CONC. – CONCRETE
PO/HW – PROPOSED OVERHEAD UTILITIES
PU/GE – PROPOSED UNDERGROUND ELECTRIC
152 – EXISTING CONTOUR
x 211.5 – EXISTING SPOT GRADE
196 – PROPOSED CONTOUR
⊙ 211.5 – PROPOSED SPOT GRADE
– PROPOSED SILT FENCE
10'R – RADIUS DIMENSION
– WIRE FENCE
– CHAIN LINK FENCE
– WOOD STOCKADE FENCE



LOCATION PLAN
(NO SCALE)

REFERENCE PLANS:

1.) SEGMENT "H" – DEPARTMENT OF THE ARMY OFFICE OF THE DIVISION ENGINEER – NEW ENGLAND DIVISION – REAL ESTATE PEASE AIR FORCE BASE MILITARY RESERVATION, DATED 2/24/58.

2.) CITY OF DOVER PUBLIC WORKS DEPARTMENT – PLAN OF CITY OWNED LAND AT PUDDING HILL WELL AREA IN MADBURY – SHOWING AREA OF GRAVEL REMOVAL. DATED MAR 15, 1965 REV TO 5/65.

3.) LAND IN MADBURY, NH – BOSTON AND MAINE RAILROAD TO MARINUCCI BROS. & Co., INC. – PLAN R2–63–3 DATED OCT 1960. S.C.R.D. PLAN 13, POCKET 2, FOLDER 17.

4.) PLAN OF LAND S & H ENTERPRISES, INC., DOVER, NH DATED MAY 1982 BY F.E. DREW ASSOCIATES.

5.) J. P. GRIFFIN INC. – LAND OF SARA DAVIS AND HENRY J. SANBORN, DOVER, NH, DATED APRIL 1979, BY G.L. DAVIS & ASSOC..

6.) JAMES P. GRIFFIN – FRANK DAVIS LAND, DOVER, NH DATED JAN 1982, BY G.L. DAVIS & ASSOC..

7.) REVISED FINAL PLAN – LOTS 1–16 & 25–36 – WALTER W. CHENEY INC. – JABRE FARM, MADBURY, NH DATED APRIL 1975 BY G.L. DAVIS & ASSOC..

8.) LOT LINE ADJUSTMENT PLAN PREPARED FOR J. LUDWIN PROULX, PUDDING HILL ROAD, MADBURY & DOVER, NEW HAMPSHIRE. SCALE: 1" = 100'; DATED: NOVEMBER 30, 1993, REVISED THROUGH 1/31/94; BY THIS OFFICE. RECORDED S.C.R.D. PLAM 43–85.

9.) PLAN OF LAND FOR TYRA, INC. (JAMES P. GRIFFIN), TAX MAP H, LOT 60, DOVER, STRAFFORD COUNTY, NEW HAMPSHIRE. SCALE: 1" = 100'; DATED: APRIL 7, 2000; BY: K E M LAND SURVEY, INC. RECORDED S.C.R.D. PLAN 58–46.

9–64
CANDIA SOUTH BRANCH BROOK HOLDINGS, LLC
P.O. Box 410
CANDIA, NH 03034
3923 / 904

9–63A
PAUL MARTEL
92 OLD MILL LANE
ROLLINSFORD, NH 03869
1733 / 455

9–65
CITY OF DOVER, NH
CENTRAL AVENUE
DOVER, NH
771 / 218
REF. PLAN #1 & #2
"GRIFFIN" WELL

BUILDING

GRAVEL ACCESS ROAD

N17°21'26"W 158.88'

N89°58'16"E 245.49'

R.O.W. TO CITY OF DOVER 717 / 218 (SEE NOTE 11)

N89°54'03"W 162.15'

N00°05'57"E 400.00'

106.75' S89°54'03"E

L3

N60°02'06"W 204.42'

ASPHALT DRIVE

R.O.W. TO CITY OF DOVER 717 / 218 (SEE NOTE 11)

L2

L1

PUDDING HILL ROAD

GARRISON LANE

N80°19'39"E 111.99'

L4

N80°02'14"E 114.20'

N81°26'33"E 337.85'

N80°46'08"E 106.29'

N80°45'21"E 188.06'

CITY / TOWN LINE DOVER / MADBURY

S42°13'25"E 857.44'

MADBURY
9 – 63
PARCEL AREA (MADBURY)
409,351 S.F.
9.40 Ac.

DOVER
H–61
PARCEL AREA (DOVER)
363,767 S.F.
8.35 Ac.

H–60
TYRA, INC.
P.O. Box 907
PORTSMOUTH, NH 03801
1776 / 176
REF. PLAN #4, #5 & #9

GRID NORTH
CITY / GEOD CORP.

S09°31'58"E 676.96'

H–59
CANDIA SOUTH BRANCH BROOK HOLDINGS, LLC
P.O. Box 410
CANDIA, NH 03034
3923 / 904

H–59–1
CANDIA SOUTH BRANCH BROOK HOLDINGS, LLC
P.O. Box 410
CANDIA, NH 03034
3923 / 904

H–5B–1
DAVID D. BROWNE
PAMELA R. BROWNE
324 MAST ROAD
DOVER, NH 03820
2384 / 618

BUILDING

483.37' S81°13'03"W

108.31' S72°46'24"W

285.81' S72°46'24"W

MAST ROAD

FRESHET ROAD

9–66
SCOTT D. NICOL
DIANE D. NICOL
6 FRESHET ROAD
MADBURY, NH 03823
2230 / 788

9–60p
ERIC M. NIKITIN
STACY M. NIKITIN
2 GARRISON LANE
MADBURY, NH 03823
3283 / 344

9–61
JOHN W. WETHERBEE
SEAN PRATT
7 GEORGE BENNETT ROAD
LEE, NH 03861
4083 / 670

H – 5B
STACEY MACDONALD
330 MAST ROAD
DOVER, NH 03820
4047 / 251

No.	Bearing	Distance
L1	S84°31'22"W	90.14'
L2	S84°31'22"W	47.82'
L3	N00°41'54"E	69.86'
L4	N80°02'14"E	65.71'

NOTES:

1.) OWNER OF RECORD:
CANDIA SOUTH BRANCH BROOK HOLDINGS, LLC
P.O. Box 410
CANDIA, NEW HAMPSHIRE 03034
S.C.R.D. VOL. 3923, PAGE 904

2.) H–61 – DENOTES TAX MAP AND PARCEL NUMBER.

3.) ZONING DISTRICT:

DOVER: ASSEMBLY & OFFICE ZONE – I–4
BUILDING SETBACK REQUIREMENTS:
FRONT = 75 FEET
SIDE = 75 FEET
REAR = 75 FEET
MAXIMUM BUILDING HEIGHT = 40 FEET
MAXIMUM LOT COVERAGE = 33 PERCENT

MADBURY: COMMERCIAL AND LIGHT INDUSTRY ZONE
BUILDING SETBACK REQUIREMENTS:
FRONT = 50 FEET
SIDE = 25 FEET
REAR = 25 FEET

4.) TOTAL PARCEL AREA = 773,118 S.F. / 17.75 ACRES.

5.) THE INTENT OF THIS PLAN IS TO SHOW THE SUBJECT PARCEL BOUNDARIES.

6.) THE SUBJECT PARCEL IS LOCATED WITHIN AREAS DETERMINED TO BE OUTSIDE THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 330145, PANEL 0310, SUFFIX D; MAP NUMBER 33017C0310D, EFFECTIVE DATE: MAY 17, 2005.

7.) BASIS OF BEARINGS IS THE CITY OF DOVER / GEOD CORP. GRID NORTH. CITY OF DOVER G.I.S. STATIONS TR 73 AND TR 74 WERE USED TO DETERMINE LOCATION AND ORIENTATION. VERTICAL DATUM IS NGVD29

8.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1–888–344–7233.

9.) THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.

10.) RESERVED.

11.) LAND ENCOMPASSED BY R.O.W. IS OWNED BY J. LUDWIN PROULX ET ALS OR PRUVEN AGGREGATES, INC..

12.) PARCEL IS SUBJECT TO A LICENSE FOR ACCESS GRANTED TO LIONEL MARTEL AND PAUL MARTEL, D/B/A/ MAST ROAD SAND AND GRAVEL, BY LICENSE DATED MARCH 11, 1994, RECORDED S.C.R.D. BOOK 1733, PAGE 0451.

13.) PARCEL IS SUBJECT TO AN EASEMENT TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY RECORDED AT S.C.R.D. BOOK 718, PAGE 59.

NO.	DATE	DESCRIPTION	BY	CHK
		REVISIONS		
1	5/30/13	REVISE PER PLANNING COMMENTS	RJM	KMM

13–1964	BOUNDARY	11–09	73–76
PROJECT NO	TYPE	FIELDBOOK & PAGES	

"I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL GROUND SURVEY PERFORMED WITH A TOTAL STATION, BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, SAID SURVEY MEETS OR EXCEEDS THE MINIMUM PRECISION REQUIREMENTS FOR SURVEY CLASSIFICATION "U" AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS."

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."
(RSA 676:18)

DATE: / KEVIN M. McENEANEY LLS # 661

PLAN OF LAND
PREPARED FOR
CANDIA SOUTH BRANCH BROOK HOLDINGS, LLC
TAX MAP H, LOT No. 61 (DOVER)
TAX MAP 9, LOT No. 63 (MADBURY)
MAST ROAD
DOVER AND MADBURY
COUNTY of STRAFFORD
STATE of NEW HAMPSHIRE

DOVER PLANNING FILE No. P 13–14

DRAWN BY: RJM	FILE: VR CP\1964\13–1964
SCALE: 1" = 60'	DATE: MARCH 1, 2013

60 30 0 30 60 120 180 240

STATE OF NEW HAMPSHIRE No. 661 KEVIN M. McENEANEY LICENSED LAND SURVEYOR SIGNATURE

McENEANEY SURVEY ASSOCIATES, INC.
P.O. Box 681 – 24 CHESTNUT STREET
DOVER, NH 03820 (603) 742–0911
SURVEYING – PLANNING – CONSULTING

NOTES:

1.) OWNER OF RECORD:
CANDIA SO. BRANCH BROOK HOLDINGS, LLC
P.O. BOX 410
CANDIA, NH 03034
TITLE REFERENCE: SCRD BOOK 3923, PAGE 904

2.) SURVEY OF EXISTING CONDITIONS PERFORMED ON FEBRUARY 22, 2013 BY McENEANEY SURVEY ASSOCIATES, INC.

3.) VERTICAL DATUM: NAD 27, NGVD 29

4.) EXISTING WATER SERVICE LOCATION DATA APPROXIMATE BASED ON OWNER INFORMATION DUE TO SNOW COVER.

5.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.

6.) THE PLANS AND SPECIFICATIONS ARE INTENDED TO BE EXPLANATORY OF THE WORK TO BE DONE AND OF EACH OTHER, BUT SHOULD ANY OMISSIONS, ERRORS OR DISCREPANCIES APPEAR, THEY SHALL BE SUBJECT TO CORRECTION AND INTERPRETATION BY THE "DESIGN ENGINEER" THEREBY DEFINING AND FULFILLING THE INTENT OF THE PLANS.

7.) THE SUBJECT PARCEL CONTAINS 773,118 SQUARE FEET / 17.75 ACRES OF LAND, MORE OR LESS.

8.) THE SUBJECT PARCEL IS LOCATED WITHIN THE FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE "X" AND IS DETERMINED BY FEMA TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD. PER COMMUNITY PANEL NUMBER 33017C0320D, EFFECTIVE DATE MAY 17, 2005.

9.) ZONING DISTRICT: TOWN OF MADBURY -COMMERCIAL AND LIGHT INDUSTRIAL ZONE.

10.) MADBURY ZONING DIMENSIONAL AND DENSITY REQUIREMENTS:

	REQUIRED	PROVIDED
MINIMUM FRONT YARD	= 50 FEET	= 0 FEET (EXISTING STRUCTURE)*
MINIMUM SIDE YARD	= 25 FEET	= > 200 FEET
MINIMUM REAR YARD	= 25 FEET	= > 200 FEET
MINIMUM LOT SIZE	= 80,000 S.F.	= 17.75 ACRES
MINIMUM LOT FRONTAGE	= 125 FEET	= 1,015.45 FEET
MINIMUM LOT DEPTH	= 150 FEET	= > 675 FEET

* PER ARTICLE XIII, NONCONFORMING USES, STRUCTURES, AND LOTS, SECTION 2 "ANY LAWFUL NON-CONFORMING STRUCTURE EXISTING AT THE TIME OF ADOPTION OF THIS ORDINANCE MAY BE OCCUPIED, OPERATED AND MAINTAINED IN A STATE OF GOOD REPAIR."

11.) SOIL TYPES ON THE SUBJECT PARCEL WERE OBTAINED FROM THE U.S.D.A. -S.C.S. "SOIL SURVEY OF STRAFFORD COUNTY, NEW HAMPSHIRE", ISSUED MARCH 1973.
THE SOIL DESCRIPTIONS ARE AS FOLLOWS:

DESIGNATION - DESCRIPTION

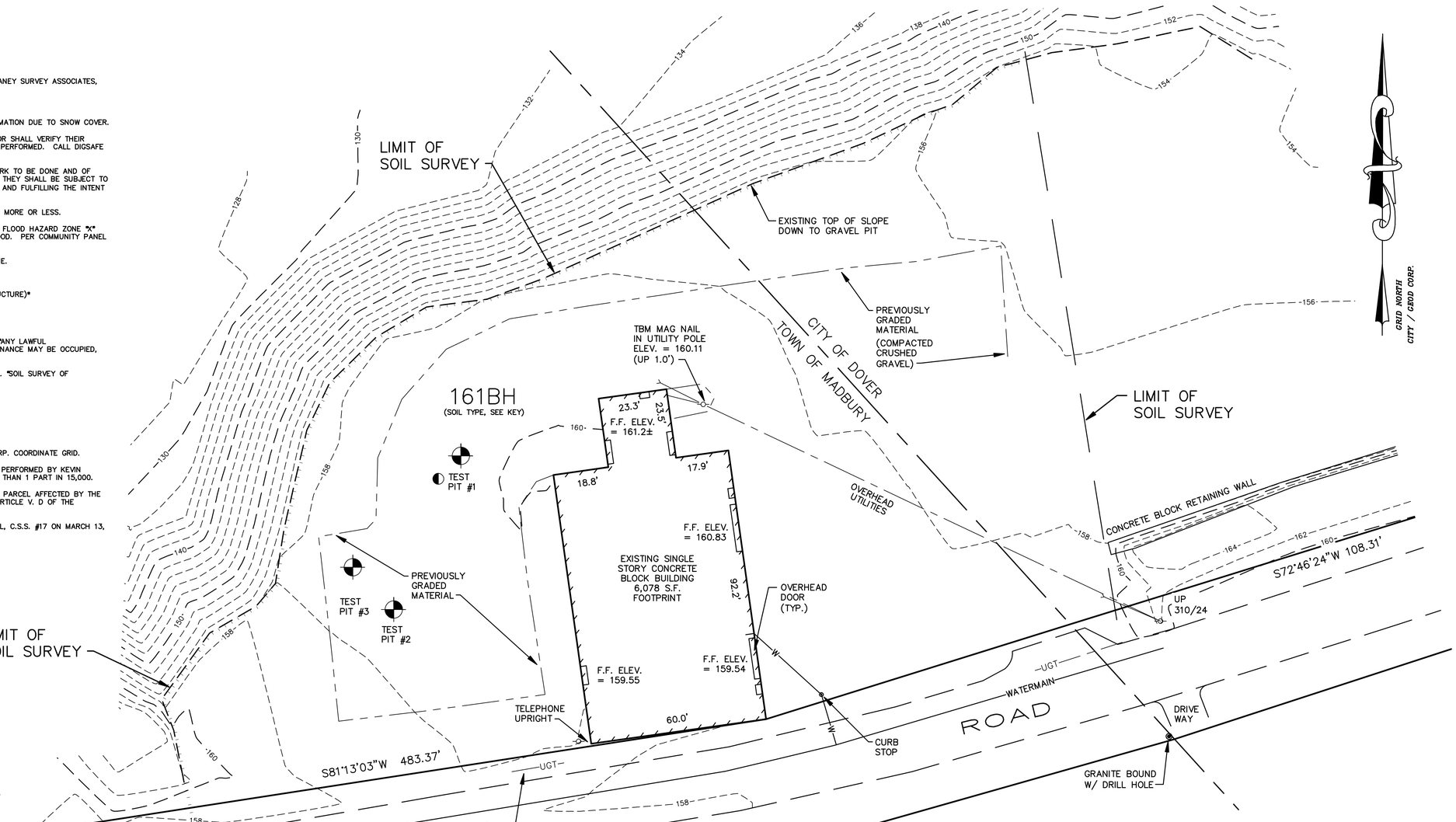
HoB - HINCKLEY LOAMY SAND, 8-15% SLOPES
Gv - GRAVEL AND BORROW PIT
REF. SHEET NO. 28

12.) THE PLAN INFORMATION SHOWN IN RELATIVE TO THE CITY OF DOVER / GEOD CORP. COORDINATE GRID.

13.) PROPERTY (BOUNDARY) LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY KEVIN McENEANEY, LLS ON MARCH 1, 2013 WITH AN ERROR OF CLOSURE NOT GREATER THAN 1 PART IN 15,000.

14.) THE EXISTING CONDITIONS SHOWN HEREON DEPICT THE PORTION OF THE OVERALL PARCEL AFFECTED BY THE IMPROVEMENTS ASSOCIATED WITH CHANGE OF USE PURSUANT TO A WAIVER OF ARTICLE V. D OF THE MADBURY SITE REVIEW REGULATIONS.

15.) HIGH INTENSITY SOIL SURVEY (H.I.S.S.) MAPPING PERFORMED BY JOSEPH W. NOELL, C.S.S. #17 ON MARCH 13, 2013.



KEY TO SOIL TYPES

SYMBOL: A Drainage Class
1 - Excessively drained
2 - Well drained
3 - Moderately well drained
4 - Somewhat poorly drained
5 - Poorly drained
6 - Very poorly drained
7 - Not determinable (to be used only with Symbol B-6)

SYMBOL: B Parent Material
1 - Glaciofluvial Deposits (outwash/terraces of sand or sand and gravel).
2 - Glacial Till Material (active ice)
Marine or Glaciolacustrine Deposits (3. 4 or 5)
3 - Very fine sand and silt deposits (glacial lakes)
4 - Loamy/sandy over silt/clay deposits
5 - Silt and clay deposits (ocean waters)
6 - Excavated, regraded or filled (see Connotative Soil Legend)
7 - Alluvial Deposits (flood plains)
8 - Organic Materials - Fresh Water Bogs, etc.
9 - Organic Materials - Tidal Marsh

SYMBOL: C Restrictive Features (if more than one applies, list the most restrictive)
1 - None
2 - Bouldery, with more than 15% of the surface covered with boulders (larger than 24 inches in diameter).
3 - Mineral restrictive layer(s) are present in the soil profile less than 40 inches below the soil surface - such as hard pan, platy structure or clayey texture with consistence of at least firm, i.e. more than 20 newtons. For other examples of soil characteristics that qualify for restrictive layer, see Soil Manual for Site Evaluations in New Hampshire, 2nd Ed., page 3-17, figure 3-14.
4 - Bedrock present in the soil profile 0-20 inches below the mineral soil surface (Bedrock is either a lithic or paralithic contact - See User Note: Soil Taxonomy. Paralithic references bedrock that can be removed by an excavator, backhoe or by hand shovel with difficulty. Bedrock fractures are spaced more than 4 inches.
5 - Subject to flooding.
6 - Does not meet fill standards (see addendum - Standards for Fill Material) (only to be used with Symbol B-6).
7 - Bedrock present in the soil profile 20 to 40 inches below the mineral soil surface. (Bedrock is either lithic or paralithic contact; see Soil Taxonomy).
8 - Areas where depth to bedrock is so variable that a single soil type cannot be applied, will be mapped as a complex of soil types and will have a symbol C of 8.

SYMBOL: D Slope Class
B - 0% to 8%
C - 8% to 15%
D - 15% to 25%
E - 25% to 35%
F - >35%+

SYMBOL: E - High Intensity Soil Map Identifier - H
- Preliminary Soil Map Identifier - P

Key from SSSNNE Publication No. 1 - High Intensity Soil Maps for NH (April 2008).

HIGH INTENSITY SOIL MAP

I HEREBY CERTIFY THAT THIS HIGH INTENSITY SOIL MAP WAS CONDUCTED IN CONFORMANCE WITH THE STANDARDS SET FORTH IN THE SSSNNE SPECIAL PUBLICATION NO. 1 HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE (APRIL 2008).

NAME _____
NH CSS# 017

DATE _____

LOT COVERAGE NOTE:

EXISTING IMPERVIOUS AREA = 6,100 S.F. (<1% OF LOT AREA).

DOVER PLANNING FILE No. P 13-14

CHANGE OF USE
EXISTING CONDITIONS PLAN
Lot No. 63, Tax Map 9
349 MAST ROAD
MADBURY, NEW HAMPSHIRE
COUNTY OF STRAFFORD

SIGNATURE

OWNER OF RECORD / APPLICANT:
Candia So. Branch Brook Holdings, LLC
P.O. Box 410
Candia, NH 03034

20 10 0 10 20 40 60 80
SCALE IN FEET

No.	DATE	BY	REVISION
1	4-22-13	DCL	REVISE PER COMMENTS

FILE: VR CP\1964\13-1964

civilworks
engineers • surveyors
P.O. Box 1166
Dover, NH 603-749-0443

DESIGN: DCL / RJM
SCALE: 1" = 20'
DATE: 3-15-2013
SHEET 3 OF 10
PROJECT # 13107

NOTES:

1.) OWNER OF RECORD:
CANDIA SO. BRANCH BROOK HOLDINGS, LLC
P.O. BOX 410
CANDIA, NH 03034
TITLE REFERENCE: SCRD BOOK 3923, PAGE 904

2.) SURVEY OF EXISTING CONDITIONS PERFORMED ON FEBRUARY 22, 2013 BY McENEANEY SURVEY ASSOCIATES, INC.

3.) VERTICAL DATUM: NAD 27, NGVD 29

4.) EXISTING WATER SERVICE LOCATION DATA APPROXIMATE BASED ON OWNER INFORMATION DUE TO SNOW COVER.

5.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.

6.) THE PLANS AND SPECIFICATIONS ARE INTENDED TO BE EXPLANATORY OF THE WORK TO BE DONE AND OF EACH OTHER, BUT SHOULD ANY OMISSIONS, ERRORS OR DISCREPANCIES APPEAR, THEY SHALL BE SUBJECT TO CORRECTION AND INTERPRETATION BY THE "DESIGN ENGINEER" THEREBY DEFINING AND FULFILLING THE INTENT OF THE PLANS.

7.) THE SUBJECT PARCEL CONTAINS 773,118 SQUARE FEET / 17.75 ACRES OF LAND, MORE OR LESS.

8.) THE SUBJECT PARCEL IS LOCATED WITHIN THE FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE "X" AND IS DETERMINED BY FEMA TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD. PER COMMUNITY PANEL NUMBER 33017C0320D, EFFECTIVE DATE MAY 17, 2005.

9.) ZONING DISTRICT: TOWN OF MADBURY - COMMERCIAL AND LIGHT INDUSTRIAL ZONE.

10.) MADBURY ZONING DIMENSIONAL AND DENSITY REQUIREMENTS:

	REQUIRED	PROVIDED
MINIMUM FRONT YARD	= 50 FEET	= 0 FEET (EXISTING STRUCTURE)*
MINIMUM SIDE YARD	= 25 FEET	= > 200 FEET
MINIMUM REAR YARD	= 25 FEET	= > 200 FEET
MINIMUM LOT SIZE	= 80,000 S.F.	= 17.75 ACRES
MINIMUM LOT FRONTAGE	= 125 FEET	= 1,015.45 FEET
MINIMUM LOT DEPTH	= 150 FEET	= > 675 FEET

* PER ARTICLE XIII, NONCONFORMING USES, STRUCTURES, AND LOTS, SECTION 2 "ANY LAWFUL NON-CONFORMING STRUCTURE EXISTING AT THE TIME OF ADOPTION OF THIS ORDINANCE MAY BE OCCUPIED, OPERATED AND MAINTAINED IN A STATE OF GOOD REPAIR."

11.) SOIL TYPES ON THE SUBJECT PARCEL WERE OBTAINED FROM THE U.S.D.A. -S.C.S. "SOIL SURVEY OF STRAFFORD COUNTY, NEW HAMPSHIRE", ISSUED MARCH 1973. THE SOIL DESCRIPTIONS ARE AS FOLLOWS:

DESIGNATION - DESCRIPTION

HoB - HINCKLEY LOAMY SAND, 8-15% SLOPES
Gv - GRAVEL AND BORROW PIT
REF. SHEET NO. 28

12.) THE PLAN INFORMATION SHOWN IN RELATIVE TO THE CITY OF DOVER / GEOD CORP. COORDINATE GRID.

13.) THE SUBJECT PARCEL AND EXISTING BUILDING ARE PROPOSED TO BE RE-USED AS A LIGHT CONSTRUCTION EQUIPMENT RENTAL BUSINESS.

14.) THERE ARE NO JURISDICTIONAL WETLANDS ON OR WITHIN 50 FEET OF THE SUBJECT PARCEL.

15.) PROPERTY (BOUNDARY) LINE INFORMATION HAS BEEN OBTAINED FROM A SURVEY PERFORMED BY KEVIN McENEANEY, LLS ON MARCH 1, 2013 WITH AN ERROR OF CLOSURE NOT GREATER THAN 1 PART IN 15,000.

16.) TOTAL AREA OF EXISTING BUILDING FOOTPRINT = 6,078 S.F.

17.) REQUIRED PARKING BASED ON APPLICANTS PROJECTED MAXIMUM: 12 SPACES
PROVIDED PARKING: 18 SPACES (9'X 20')

18.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.

19.) ALL DISTURBED AREAS NOT OTHERWISE CALLED FOR SURFACE TREATMENT SHALL RECEIVE 6"OF HIGH QUALITY LOAM AND SHALL BE SEEDED WITH GRASS.

20.) PAVEMENT STRIPING TO BE 4" WIDE/WHITE, UNLESS OTHERWISE NOTED.

21.) AS-BUILT (RECORD) PLANS OF THE COMPLETED SITE CONSTRUCTION SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT TO THE TOWN OF MADBURY ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY AN L.L.S. OR P.E.

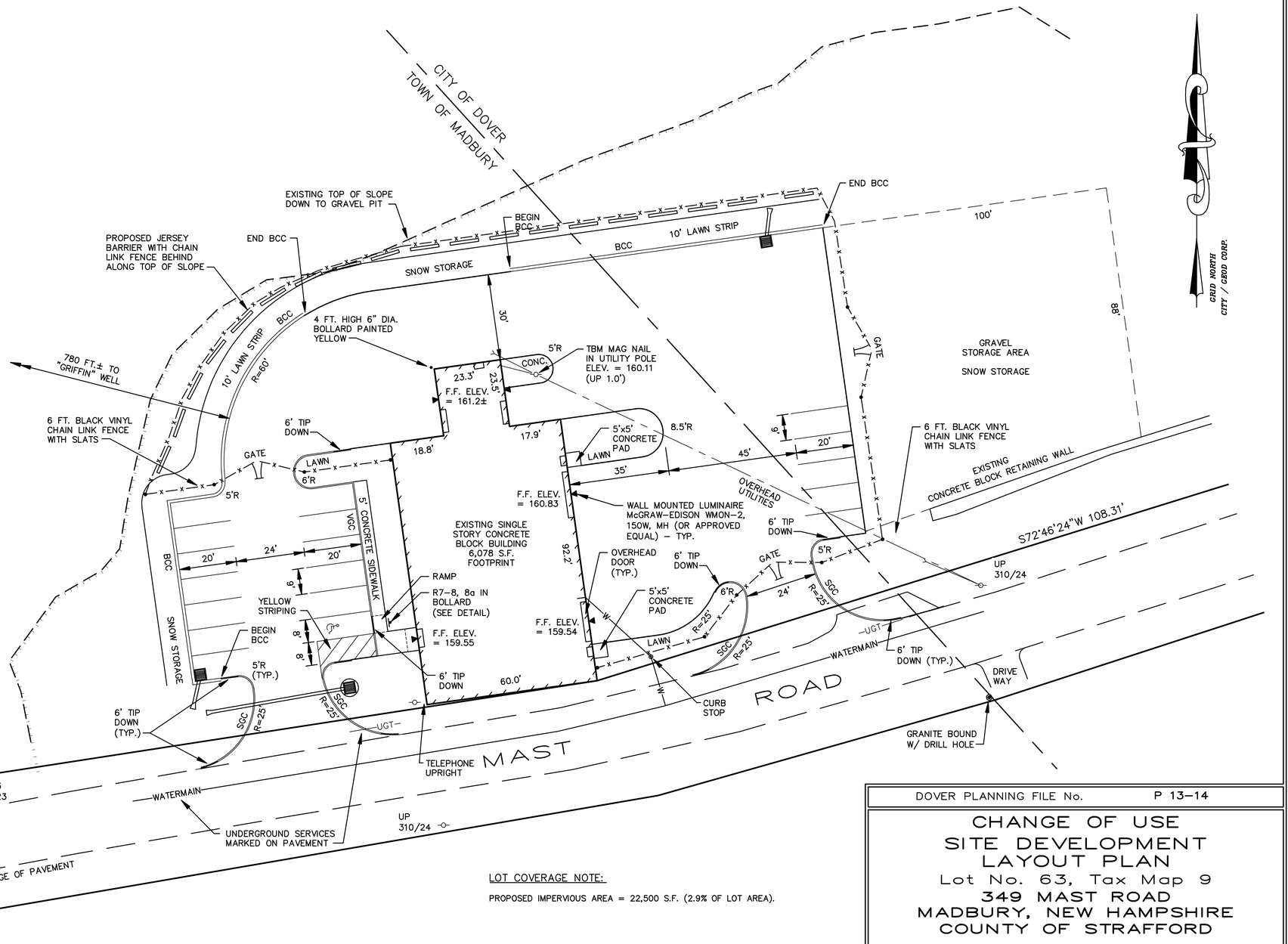
22.) SLOPED GRANITE CURBING (SGC) TO BE TIPPED DOWN AT ALL TERMINUS / END SECTIONS EXCEPT WHERE MATCHING CURB ONE (1) LOCATION.

23.) ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE LOCAL AND STATE CODES.

24.) A LETTER OF CREDIT FOR THE COST OF REVEGETATING AL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.

25.) CONSTRUCTION HOURS SHALL BE LIMITED TO:
MONDAY -FRIDAY 7 AM -6 PM,
SATURDAY 8 AM -5 PM, WITH NO SUNDAY HOURS.

26.) PROPOSED SIGNS TO BE IN CONFORMANCE WITH THE MADBURY ZONING ORDINANCES, ARTICLE VII.



LOT COVERAGE NOTE:

PROPOSED IMPERVIOUS AREA = 22,500 S.F. (2.9% OF LOT AREA).

TOWN OF MADBURY
PLANNING BOARD APPROVAL

DATE: _____

DOVER PLANNING FILE No. P 13-14

CHANGE OF USE
SITE DEVELOPMENT
LAYOUT PLAN

Lot No. 63, Tax Map 9
349 MAST ROAD
MADBURY, NEW HAMPSHIRE
COUNTY OF STRAFFORD

SIGNATURE

OWNER OF RECORD / APPLICANT:
Candia So. Branch Brook Holdings, LLC
P.O. Box 410
Candia, NH 03034

SCALE IN FEET: 20 10 0 10 20 40 60 80

No.	DATE	BY	REVISION FILE: VR CP\1964\13-1964
1	4-22-13	DCL	REVISE PER COMMENTS

civilworks
engineers • surveyors
P.O. Box 1166
Dover, NH 603-749-0443

DESIGN: DCL / RJM
SCALE: 1" = 20'
DATE: 3-15-2013
SHEET 4 OF 10
PROJECT # 13107

NOTES:

1.) THE SUBJECT PARCEL AND EXISTING BUILDING ARE PROPOSED TO BE RE-USED AS A LIGHT CONSTRUCTION EQUIPMENT RENTAL BUSINESS.

2.) THERE ARE NO JURISDICTIONAL WETLANDS ON OR WITHIN 50 FEET OF THE SUBJECT PARCEL.

3.) TOTAL AREA OF EXISTING BUILDING FOOTPRINT = 6,078 S.F.

4.) REQUIRED PARKING BASED ON APPLICANTS PROJECTED MAXIMUM: 12 SPACES
PROVIDED PARKING: 18 SPACES (9' X 20')

5.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.

6.) ALL DISTURBED AREAS NOT OTHERWISE CALLED FOR SURFACE TREATMENT SHALL RECEIVE 6"OF HIGH QUALITY LOAM AND SHALL BE SEEDED WITH GRASS.

7.) PAVEMENT STRIPING TO BE 4" WIDE/WHITE, UNLESS OTHERWISE NOTED.

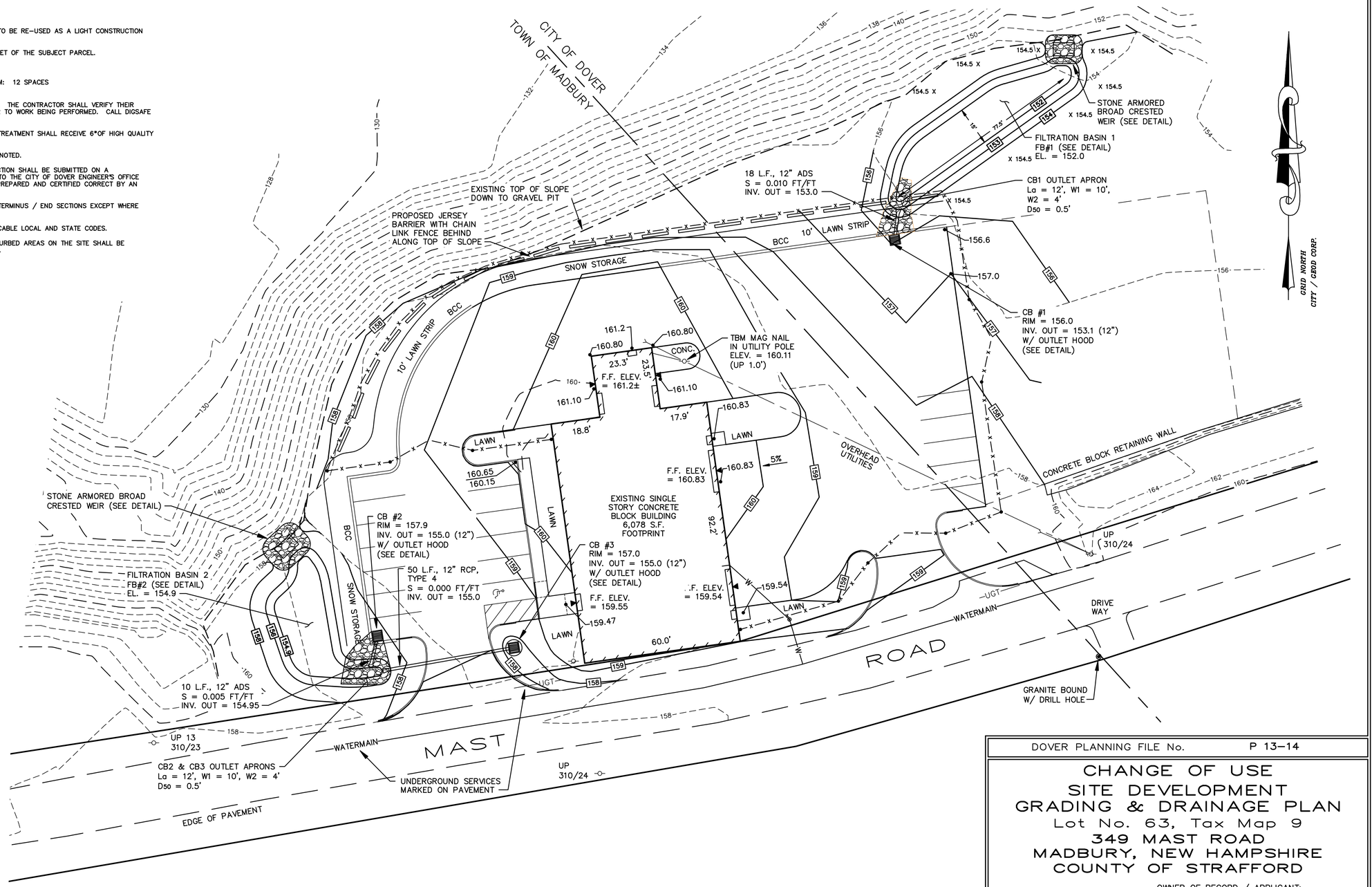
8.) AS-BUILT (RECORD) PLANS OF THE COMPLETED SITE CONSTRUCTION SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY AN L.L.S. OR P.E.

9.) SLOPED GRANITE CURBING (SGC) TO BE TIPPED DOWN AT ALL TERMINUS / END SECTIONS EXCEPT WHERE MATCHING CURB ONE (1) LOCATION.

10.) ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE LOCAL AND STATE CODES.

11.) A LETTER OF CREDIT FOR THE COST OF REVEGETATING AL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.

12.) CONSTRUCTION HOURS SHALL BE LIMITED TO:
MONDAY -FRIDAY 7 AM -6 PM,
SATURDAY 8 AM -5 PM, WITH NO SUNDAY HOURS.



TOWN OF MADBURY
PLANNING BOARD APPROVAL

DATE: _____

DOVER PLANNING FILE No. P 13-14

CHANGE OF USE
SITE DEVELOPMENT
GRADING & DRAINAGE PLAN
Lot No. 63, Tax Map 9
349 MAST ROAD
MADBURY, NEW HAMPSHIRE
COUNTY OF STRAFFORD

SIGNATURE

OWNER OF RECORD / APPLICANT:
Candia So. Branch Brook Holdings, LLC
P.O. Box 410
Candia, NH 03034

SCALE IN FEET

No.	DATE	BY	REVISION FILE: VR CP\1964\13-1964
1	4-22-13	DCL	REVISE PER COMMENTS

civilworks
engineers • surveyors
P.O. Box 1166
Dover, NH 603-749-0443

DESIGN: DCL / RJM
SCALE: 1" = 20'
DATE: 3-15-2013
SHEET 5 OF 10
PROJECT # 13107

NOTES:

1.) THE SUBJECT PARCEL AND EXISTING BUILDING ARE PROPOSED TO BE RE-USED AS A LIGHT CONSTRUCTION EQUIPMENT RENTAL BUSINESS.

2.) THERE ARE NO JURISDICTIONAL WETLANDS ON OR WITHIN 50 FEET OF THE SUBJECT PARCEL.

3.) TOTAL AREA OF EXISTING BUILDING FOOTPRINT = 6,078 S.F.

4.) REQUIRED PARKING BASED ON APPLICANTS PROJECTED MAXIMUM: 12 SPACES
PROVIDED PARKING: 12 SPACES (9'X 20')

5.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.

6.) ALL DISTURBED AREAS NOT OTHERWISE CALLED FOR SURFACE TREATMENT SHALL RECEIVE 4"OF HIGH QUALITY LOAM AND SHALL BE SEEDED WITH GRASS. SEE PERMANENT SEEDING NOTES.

7.) PAVEMENT STRIPING TO BE 4" WIDE/WHITE, UNLESS OTHERWISE NOTED.

8.) AS-BUILT (RECORD) PLANS OF THE COMPLETED SITE CONSTRUCTION SHALL BE SUBMITTED ON A REPRODUCIBLE MYLAR MEDIUM AND IN A DIGITAL DXF FORMAT TO THE CITY OF DOVER ENGINEER'S OFFICE UPON COMPLETION OF PROJECT. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED CORRECT BY AN L.L.S. OR P.E.

9.) SLOPED GRANITE CURBING (SGC) TO BE TIPPED DOWN AT ALL TERMINUS / END SECTIONS EXCEPT WHERE MATCHING CURB ONE (1) LOCATION.

10.) ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE LOCAL AND STATE CODES.

11.) A LETTER OF CREDIT FOR THE COST OF REVEGETATING AL DISTURBED AREAS ON THE SITE SHALL BE SUBMITTED PRIOR TO ANY EARTH DISTURBING ACTIVITY OCCURS.

12.) CONSTRUCTION HOURS SHALL BE LIMITED TO:
MONDAY -FRIDAY 7 AM -6 PM,
SATURDAY 8 AM -5 PM, WITH NO SUNDAY HOURS.

13.) ALL WASTEWATER PIPING SHOWN SHALL BE INSULATED.

14.) HEAT FUEL TO BE PROPANE STORED IN 500 GALLON TANK.

15.) ANY SPILL, LEAK, OR ESCAPE OF REGULATED MATERIALS SHALL BE REPORTED TO THE BUILDING INSPECTOR (TEL. (603) 742-5131, X103) OR SELECTMEN'S DELEGATE.

HOLDING TANK NOTES:

1.) See General Note 1

2.) Daytime telephone: (603) 483-7001

3.) Description and volume of waste characteristic
a) Wash/rinse water from clean-up of light construction equipment (grease, oil, dirt)
b) Hose discharge
5 gal/min x 15 min/day = 75 gal/day
20 business days/month x 75 gal/day = 1,500 gal/mo
Use 2,000 gal. tank

4.) 2,000 gallon holding tank shall be item no. 1452 as manufactured by Superior Concrete Co., Inc., Auburn, ME and shall meet HS-20-44 loading design criteria.

5.) Holding tank shall be watertight and sealed with materials compatible with the liquid being stored

6.) Minimum 20 inch diameter removable access cover to finished grade

7.) Tank and accessway /cover shall be designed to H-20 loading standards

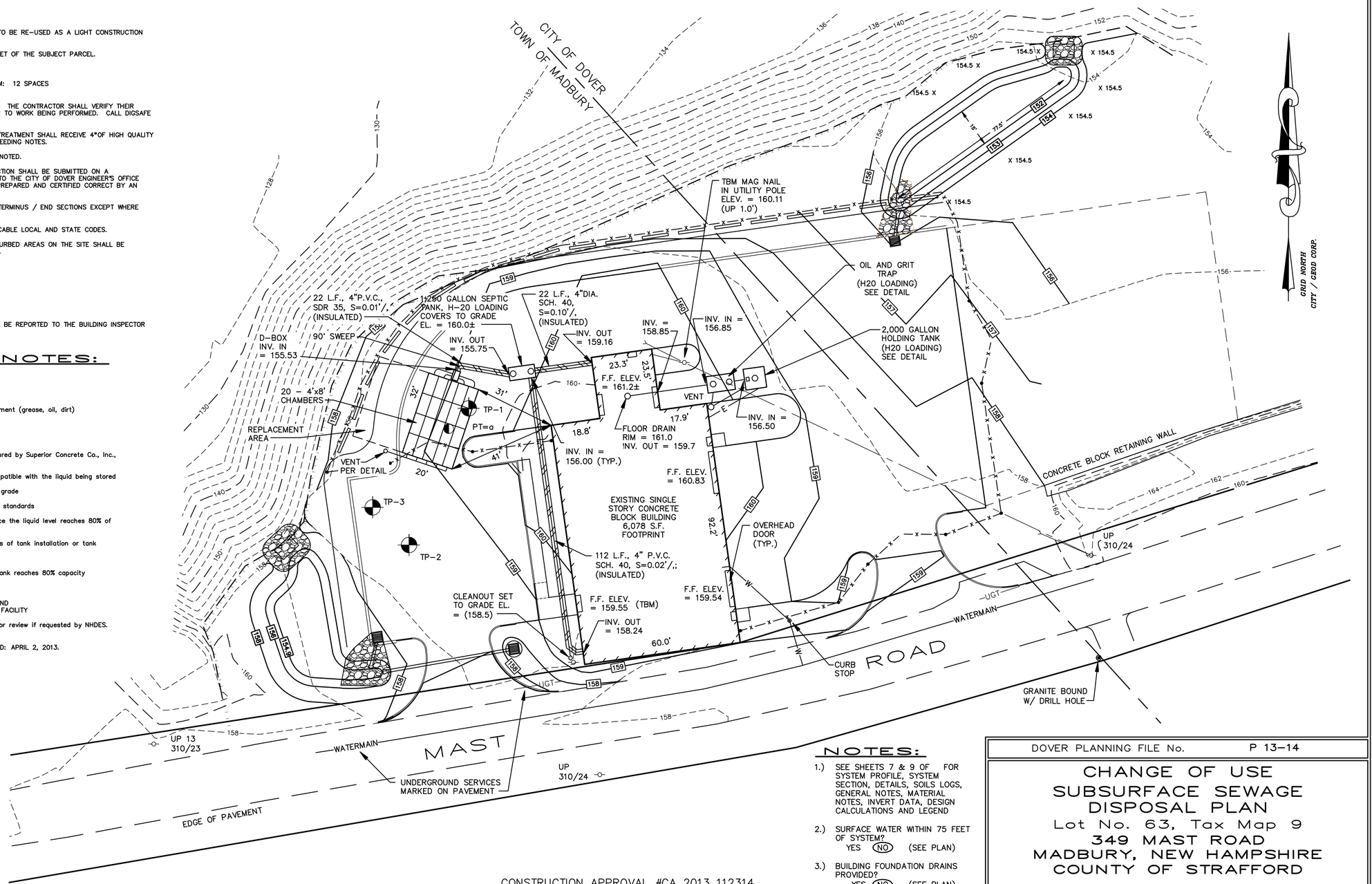
8.) Alarm with both visual and audio signals shall be activated once the liquid level reaches 80% of maximum storage capacity (1600 gals.)

9.) The facility owner (registrant) shall notify NHDES within 30 days of tank installation or tank closure or removal.

10.) Disposal plan:
a) frequency is estimated to be monthly or at such time as tank reaches 80% capacity
b) Method of transport: TANK TRUCK
c) Disposal location: ENPRO SERVICES ON MAINE
SOUTH PORTLAND, MAINE
d) Facility type: LICENSED WASTE OIL, RCRA PART B AND
INDUSTRIAL WASTE WATER DISCHARGE FACILITY

11.) Records of pumping events shall be kept and made available for review if requested by NHDES.

12.) NHDES HOLDING TANK REGISTRATION:
SITE # 201303060 / RSN # 30414 / ACTIVITY # 195125; DATED: APRIL 2, 2013.



CONSTRUCTION APPROVAL #CA 2013 112314.

NOTES:

1.) SEE SHEETS 7 & 9 OF FOR SYSTEM PROFILE, SYSTEM SECTION, DETAILS, SOILS LOGS, GENERAL NOTES, MATERIAL NOTES, INVERT DATA, DESIGN CALCULATIONS AND LEGEND

2.) SURFACE WATER WITHIN 75 FEET OF SYSTEM?
YES (NO) (SEE PLAN)

3.) BUILDING FOUNDATION DRAINS PROVIDED?
YES (NO) (SEE PLAN)

4.) N.H. D.E.S. SUBDIVISION APPROVAL No. N/A
TOTAL LOT AREA = 17.75 ACRES

TOWN OF MADBURY
PLANNING BOARD APPROVAL

DATE:

DOVER PLANNING FILE No. P 13-14

CHANGE OF USE SUBSURFACE SEWAGE DISPOSAL PLAN

Lot No. 63, Tax Map 9
349 MAST ROAD
MADBURY, NEW HAMPSHIRE
COUNTY OF STRAFFORD

SIGNATURE

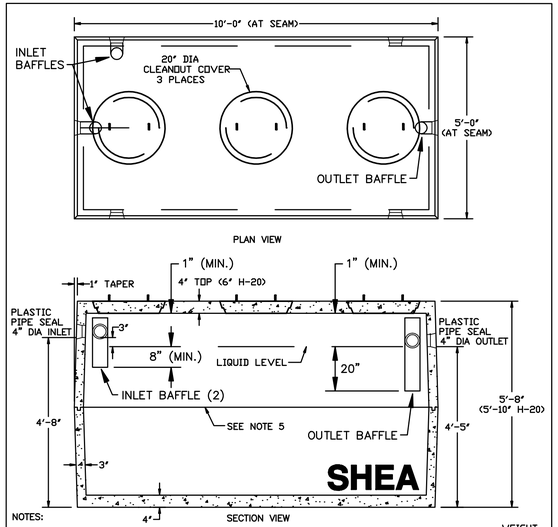
OWNER OF RECORD / APPLICANT:
Candia So. Branch Brook Holdings, LLC
P.O. Box 410
Candia, NH 03034

20 10 0 10 20 40 60 80
SCALE IN FEET

No.	DATE	BY	REVISION FILE: VR CP\1964\13-1964
2	4-22-13	DCL	REVISE PER COMMENTS
1	4-3-13	DCL	REVISE PER NH DES COMMENTS

civilworks
engineers • surveyors
P.O. Box 1166
Dover, NH 603-749-0443

DESIGN: DCL / RJM
SCALE: 1" = 20'
DATE: 3-15-2013
SHEET 6 OF 10
PROJECT # 13107



NOTES:

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. CONSTRUCTION OF SEPTIC TANK CONFORMS WITH DEP TITLE 5 REGS, 310 CMR, SECTION 15.226.
3. ALL REINFORCEMENT PER ASTM C1227-93.
4. TEES AND GAS BAFFLE SOLD SEPARATELY.
5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
6. ALSO AVAILABLE IN H-20 LOADING.

ITEM NO.	TK 1250	WEIGHT 10,295#
	TK 1250H	11,530#

SHEA CONCRETE PRODUCTS — New England's Premier Precaster — 800-696-7432 (SHEA) — www.sheaconcrete.com

773 Salem Street, Wilmington, MA 01887 — 87 Haverhill Road, P.O. Box 807, Amesbury, MA 01913 — 160 Old Turnpike Road, Nottingham, NH 03290

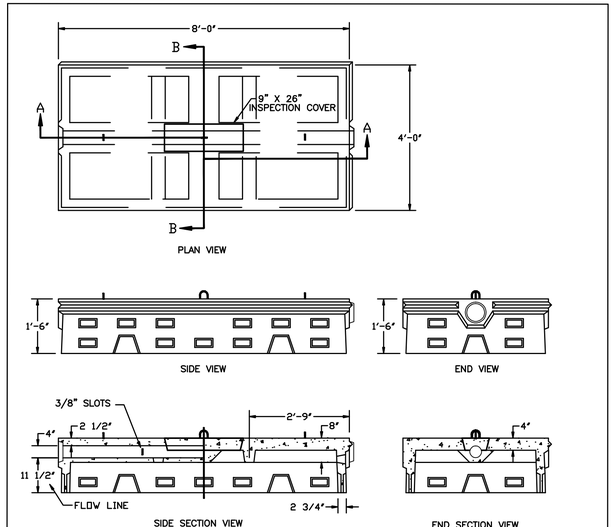
SEPTIC TANK 1250 GALLON

Page: B1.4 — tk1250.dwg — 11/23/2009

Specifications subject to change without notice

SEPTIC TANK

NOT TO SCALE



NOTES:

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. REINFORCED STEEL CONFORMS TO LATEST ASTM SPEC.
3. DESIGNED FOR H-20 LOADING.

ITEM NO.	LE-FDL	WEIGHT 3,111#

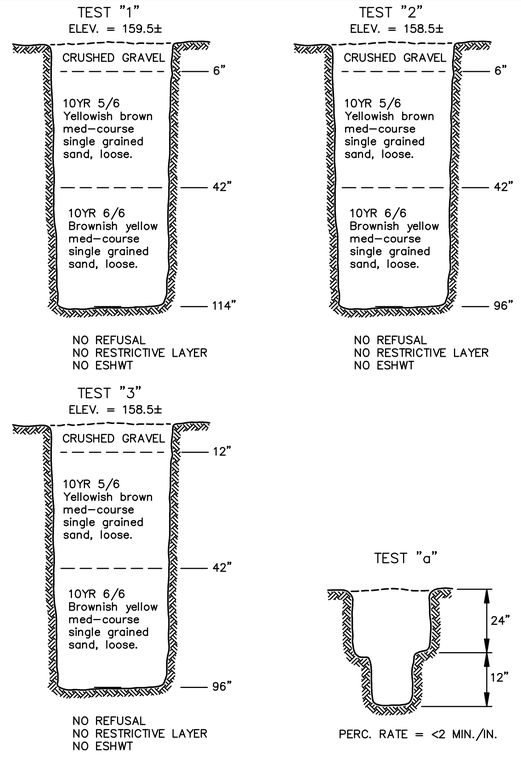
SHEA CONCRETE PRODUCTS — New England's Premier Precaster — 800-696-7432 (SHEA) — www.sheaconcrete.com

773 Salem Street, Wilmington, MA 01887 — 87 Haverhill Road, P.O. Box 807, Amesbury, MA 01913 — 160 Old Turnpike Road, Nottingham, NH 03290

LEACHING CHAMBER "L" FLOW DIFFUSOR

Page: E3.1 — Flwdif_L.dwg — 6/13/2002

Specifications subject to change without notice



SOIL TEST SECTIONS

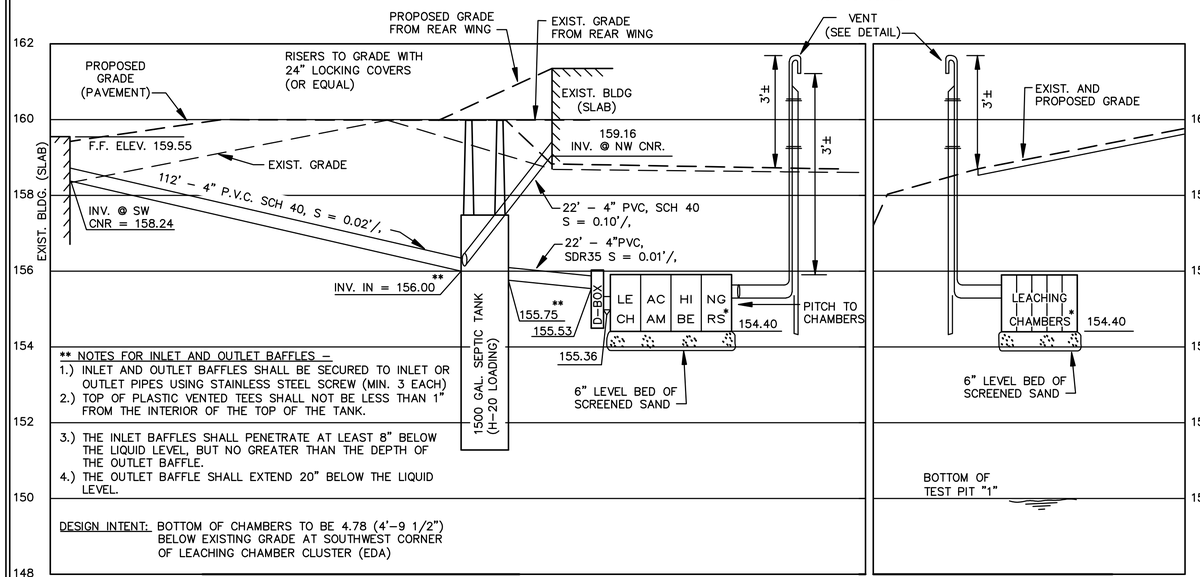
NOT TO SCALE

PERC. TEST SECTIONS

NOT TO SCALE

LEACHING BED

NOT TO SCALE



** NOTES FOR INLET AND OUTLET BAFFLES -

1.) INLET AND OUTLET BAFFLES SHALL BE SECURED TO INLET OR OUTLET PIPES USING STAINLESS STEEL SCREW (MIN. 3 EACH)
2.) TOP OF PLASTIC VENTED TEES SHALL NOT BE LESS THAN 1" FROM THE INTERIOR OF THE TOP OF THE TANK.
3.) THE INLET BAFFLES SHALL PENETRATE AT LEAST 8" BELOW THE LIQUID LEVEL, BUT NO GREATER THAN THE DEPTH OF THE OUTLET BAFFLE.
4.) THE OUTLET BAFFLE SHALL EXTEND 20" BELOW THE LIQUID LEVEL.

DESIGN INTENT: BOTTOM OF CHAMBERS TO BE 4.78 (4'-9 1/2") BELOW EXISTING GRADE AT SOUTHWEST CORNER OF LEACHING CHAMBER CLUSTER (EDA)

* NOTE: WRAP EXTERIOR PERIMETER OF LEACHING CHAMBER BED WITH MIRAFI 140N FILTER FABRIC

SYSTEM PROFILE

SCALES : HORIZ. - 1" = 20'
VERT. - 1" = 2'

SYSTEM SECTION

SCALES : HORIZ. - 1" = 20'
VERT. - 1" = 2'

GENERAL NOTES

1. The general contractor is to be responsible for horizontal and vertical control of all system components.
2. This plan is to show the design of the subsurface sewage disposal system only. The system is designed for flows estimated under design criteria.
3. System is designed only to accommodate sanitary sewage associated with normal domestic usage and consisting of water-carried putrescible waste.
4. The system is not designed for garbage grinders.
5. The system shall be vented through building plumbing as required by building code.
6. Property lines and building location are graphic only, property lines have not been verified, and no representation or certification as to the accuracy of those shown is implied or intended.
7. Applicable zoning regulations shall be confirmed by the owner prior to construction.
8. The plans shows only those features that were visually apparent on date of topography and the absence of subsurface structures, utilities, etc. is not intended or implied.
9. The installer of this system must be licensed by the State of New Hampshire.
10. There are no existing wells within 75 feet of the proposed sewage disposal system. See "Well Note" on sheet 4 of 10.
11. Disposal system areas are to be raked (scarified) before installation of stone. All stones exceeding 2 inches in diameter, all loam, or foreign material encountered during excavation are to be removed from the leaching area bed surface.
12. Finished surface of the leaching area shall be graded to assure water runoff (2% minimum slope). Spread loam to 4" minimum thickness.
13. All disturbed areas to be loamed, seeded, and maintained to prevent erosion. Spread loam to a 6" thickness, minimum. See landscaping plans for loam and seed specifications.
14. The septic tank should be periodically inspected and maintained and should be pumped when sludge in the bottom exceeds 1/3 of the depth.
15. Alternate manufacturers for concrete structures and equipment shown on these plans may be used upon the written approval of the Design Engineer. Alternate manufacturers will not be used is the use of their equipment requires design changes.
16. If any part of this design is to be altered in any way, the Design Engineer as well as the approving authorities shall be notified in writing before construction.
17. All work is to comply with the State of New Hampshire sanitary code for subsurface sewage disposal systems, and any local Board of Health supplementary regulations.
18. The local Board of Health Agent or State Inspector will conduct periodic inspections as needed.
19. These plans and specifications are intended to be explanatory of the work to be done and of each other, but should any omission, errors or discrepancies appear, they shall be subject to correction and interpretation by the Design Engineer thereby defining and fulfilling the intent of the plans.

MATERIAL NOTES

1.) Septic Stone: Clean uniformly sized washed crushed stone, washed rock or similar aggregate free from iron, fines and clay. the stone shall be one size within the range 3/4" to 2-1/2" (Wq 1016.04)

2.) Concrete Structures: Concrete strength shall be 4000 psi at 28 days with 6" by 6" by 10 gauge steel wire mesh. Use hydraulic compound connections to provide water tightness at septic tank and distribution box inlets and outlets. Septic tank construction joint shall be sealed with asphalt cement.

3.) Fill Material: All fill material under leach bed shall be medium to coarse textured sand (0.5 to 1.0 mm). Remainder of fill shall have a 5-10 min./inch perculation rate in its natural state.

INVERT DATA

	(N) / (S)
AT HOUSE	= 159.16/158.24
SEPTIC TANK IN	= 156.00
SEPTIC TANK OUT	= 155.75
D-BOX IN	= 155.53
D-BOX OUT	= 155.36
CHAMBERS IN	= 155.36
BOTTOM OF CHAMBERS	= 154.40

DESIGN CALCS

REFERENCE NHDES TABLE 1008-1

OFFICE SPACE (UNSPECIFIED):
1,920 S.F. X 15 GPD/100 S.F = 288 GAL.

DRY GOOD STORE:
3,600 S.F. X 5 GPD/100 S.F. = 1800 GAL.

TOTAL DAILY FLOW = 468 GAL.

DESIGN DATA

LOT AREA	= 17.75 ACRES
No. OF BEDROOMS	= N/A
DESIGN FLOW:	= SEE CALCS
DAILY FLOW:	= 468 GALS.
SEPTIC TANK REQ'D	= 1250 GALS.
SEPTIC TANK USED	= 1250 GALLON.
LEACH AREA REQ'D	= 585 S.F.
LEACH AREA USED	= 640 S.F.

NO GARBAGE DISPOSALS ALLOWED:

LEGEND

- 100 — EXISTING CONTOUR
- 100 — NEW CONTOUR
- PROPERTY LINE
- W — WATER SUPPLY
- SOIL TEST LOCATION
- PERC TEST LOCATION

SOIL LOGS

DATE OF TESTS : MARCH 4, 2013
PRESENT AT TESTS : DANA C. LYNCH, P.E., D.E.S. #719
MICHAEL CUOMO, C.S.S. #6 (TOWN INSPECTOR)
DESIGN PERCOLATION RATE : 2 MINUTES PER INCH
SOIL TYPE : HaB: HINCKLEY LOAMY SAND, 8-15% SLOPES
GV: GRAVEL AND BORROW PIT

No.	DATE	BY	REVISION FILE: VR CP\1964\13-1964
2	4-22-13	DCL	REVISE PER COMMENTS
1	4-3-13	DCL	REVISE PER NH DES COMMENTS

SUBSURFACE DISPOSAL SYSTEM PLAN

LOT No.: LOT 63, TAX MAP 9
STREET ADDRESS: 349 MAST ROAD
CITY / TOWN: MADBURY, NEW HAMPSHIRE

OWNER OF RECORD: Candia So. Branch Brook Holdings, LLC
P.O. Box 410
Candia, NH 03034

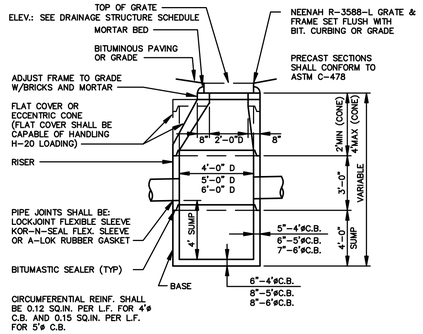
20 10 0 10 20 40 60 80
SCALE IN FEET

civilworks
engineers • surveyors
P.O. Box 1166
Dover, NH 603-749-0443

DESIGN: DCL / RJM
SCALE: AS NOTED
DATE: 3-15-2013
SHEET 7 OF 10
PROJECT # 13107

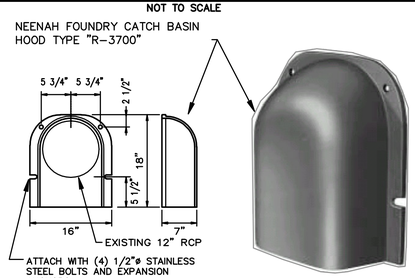
SPECIFICATIONS

1. All construction shall conform with the State of New Hampshire Department of Transportation (NHDOT), "Standard Specifications for Road and Bridge Construction", latest revision; hereinafter referred to as the "Standard Specifications".
2. Storm drains shall be reinforced concrete pipe, class IV, and shall be jointed with neoprene "O" rings.
3. Catch basins and manholes shall be pre-cast reinforced concrete designed by an engineer registered in New Hampshire, and able to withstand loadings of 8 tons (H20 Loading).
4. Manholes shall have cast iron frames and covers with 30" inside diameter openings. A 3-inch (minimum) letter "D" for drain shall be plainly cast into the center of each cover.
5. Catch basins and manholes shall be adjusted to grade with courses of brick. Maximum adjustment to grade shall be 12 inches. Frames shall be set on a full bed of mortar, true to grade and concentric with the masonry. All voids between the top of the structure and the bottom flange of the frame shall be completely filled to make a watertight fit. A ring of mortar at least one inch thick and pitched to shed water away from the frame, shall be placed over and around the outside of the bottom flange. The mortar shall extend to the outer edge of the masonry all around its circumference and shall be finished smooth. No visible leakage will be permitted.
6. Invert channels of sewer manholes shall be formed smoothly to the largest pipe radius. Changes in grade shall be formed smoothly and evenly. The floor of the structure outside the channels shall be sloped towards the channels at approximately 1/2 inch per foot. The floor at the channel shall match the crown of the largest pipe.
7. Trench construction will conform with Section 603 of the Standard Specifications.
8. Wood sheeting or a suitable trench box shall be used to support the trench as necessary. If wood sheeting is used, it shall be driven at a distance of 1 foot from the outside diameter of the pipe to a depth 6 inches below the invert of the pipe. Wood sheeting shall be cut off and left in place to an elevation not less than 1 foot above the top of the pipe, but not greater than 3 feet below the finished grade.
9. Bedding shall conform with Section 603 of the Standard Specifications.
10. Backfill material will conform with Section 603 of the Standard Specifications and, in addition, shall exclude debris, pieces of pavement, organic matter, top soil, all wet or soft muck, peat or clay, all excavated ledge material, frozen material, all rocks over 6 inches in largest dimension, or any material which, as determined by the Engineer, will not provide sufficient support or maintain the completed construction in a stable condition. Backfill shall not be placed on frozen or previously frozen material.
11. All backfill and bedding compaction shall meet the requirements of AASHO T 99 Method C. Density shall be 95 percent. Compaction shall be 6 inch lifts for bedding and backfill to a plane 1 foot above the pipe and in 12 inch lifts thereafter by an approved mechanical compactor.
12. Should frozen material be encountered, it shall not be placed in the backfill nor shall backfill be placed upon frozen material. Previously frozen material shall be removed as required before new backfill is placed.
13. The Contractor shall be responsible for any damage to frames and grates during and from the time of removal from the existing structure to and during the time of resetting, and shall replace in kind any damaged frames or grates at no additional compensation.
14. Existing excavated reinforced concrete pipe may be reused where it is found to be undamaged and meets the requirements set forth in these specifications. Excavated pipe proposed for reuse is subject to inspection and approval by the Engineer.
15. All trenches will be covered and debris, including any rejected materials, shall be removed daily. Strict safety precautions shall be maintained at all times.
16. Location of utilities shown on the plans are approximate.
    a) the Contractor shall, 48 hours prior to construction, notify the utility companies and have all utilities in the vicinity of the construction marked in the field.
    b) after the utilities have been located and prior to construction, the Contractor with the Engineer, shall layout the proposed drainage system in the field and rectify any utility conflicts which may be found.
    c) Any conflicts with utilities found during construction by the Contractor shall be immediately brought to the attention of the Engineer and the Utility Company and properly rectified.
    d) The Contractor is responsible for the cost of repair for any utilities damaged during construction. The Contractor shall contact the Utility Company to repair any damages, however, the Contractor may make appropriate repairs with the Utility Company's permission.
17. Complete shop drawings for pipe, manholes, catch basins, frames, grates and covers shall be submitted in triplicate for approval by the Engineer prior to the start of construction. Each shop drawing shall be checked and initialized by the Contractor to indicate approval before it is submitted to the Engineer.
18. Shop drawings for flat concrete covers shall be stamped prior to submission for approval by a New Hampshire Registered Professional Engineer.
19. Brick masonry for setting frames and brick and mortar plugs shall conform to the Standard Specification Section.



PRE-CAST REINFORCED CATCH BASIN

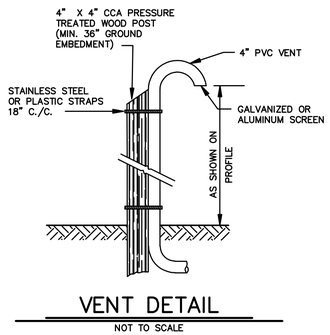
NOT TO SCALE



CATCH BASIN HOOD DETAIL

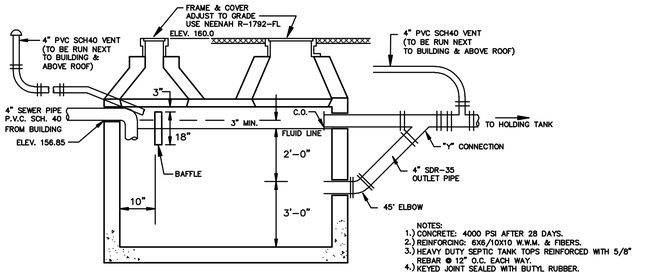
NOT TO SCALE

ALL CATCH BASINS TO HAVE HOODS MOUNTED OVER OUTLET PIPE



VENT DETAIL

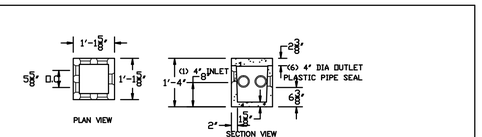
NOT TO SCALE



NOTES:
1.) CONCRETE: 4000 PSI AFTER 28 DAYS.
2.) REINFORCING: 6X6/10X10 W.W.M. & FIBERS.
3.) HEAVY DUTY SEPTIC TANK TOPS REINFORCED WITH 5/8" REBAR @ 12" O.C. EACH WAY.
4.) KEYED JOINT SEALED WITH BUTYL RUBBER.
5.) EXCAVATION MUST BE AT LEAST 12" WIDER AND LONGER THAN TANK SIZE.
6.) HORIZONTAL DIMENSIONS 10'-6" X 6'-4".
7.) TANK TO MEET DESIGN LOADING FOR HS-20-44 CRITERIA.

1,000 GALLON OIL AND GRIT SEPARATOR

NOT TO SCALE



6 OUTLET H-20

ITEM NO.		WEIGHT
B-6DBH	W/COVER	432#
B-6DBCH	COVER ONLY	151#

NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN CONFORMS WITH 310 CMR 15.000, DEP TITLE 5 REGS. FOR DISTRIBUTION BOXES.

SHEA CONCRETE PRODUCTS — *New England's Premier Precaster* — 800-696-7432 (SHEA) — www.sheaconcrete.com

773 Salem Street, P.O. Box 520, Wilmington, MA 01887
87 Haverhill Road, P.O. Box 807, Amesbury, MA 01913
160 Old Turnpike Road, Nottingham, NH 03290

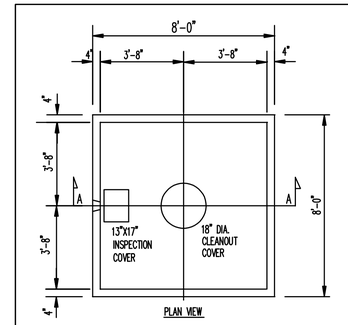
DISTRIBUTION BOX 6 OUTLET

Page: D2 dib6out h20-1 1/4/2006

Specifications subject to change without notice

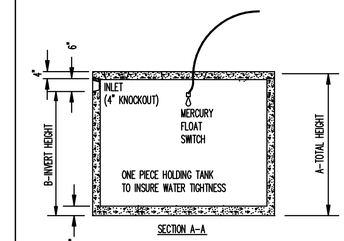
D-BOX

NOT TO SCALE



PLAN VIEW

ITEM NO.	1450	1451	1452
GALLONS	1000	1500	2000
A	4'-8"	5'-6"	6'-4"
B	3'-10"	4'-8"	5'-6"
TOTAL WEIGHT	12,600	14,500	15,800



SECTION A-A

#9021

HIGH WATER ALARM INCLUDES LIGHT, BUZZER A MERCURY FLOAT WITH LEAD WEIGHT AND NINE VOLT DC ADAPTER.

NOTES:

1. CONCRETE: 4000 PSI AFTER 28 DAYS.
2. REINFORCING: 6X6/10/10 W.W.M WITH ADDITIONAL NO. 4 BAR AROUND OPENINGS.
3. TANKS ARE AVAILABLE WITH 8" THICK COVERS FOR H-20 LOADING REQUIREMENTS.

SUPERIOR CONCRETE CO, INC. AUBURN, ME.

RESIDENTIAL HOLDING TANK

HOLDING TANK

NOT TO SCALE

NOTE: ALARM SHALL BE SET TO ACTIVATE AT A LIQUID DEPTH OF 3.71 FT. OR AT THE 1,500 GALLON LEVEL NOT TO EXCEED 80% OF THE LIQUID DEPTH.

NHDES HOLDING TANK REGISTRATION:
SITE # 201303060 / RSN # 30414 / ACTIVITY # 195125;
DATED: APRIL 2, 2013.

No.	DATE	BY	REVISION FILE: VR CP\1964\13-1964
2	4-22-13	DCL	REVISE PER COMMENTS

MISCELLANEOUS SITE AND SUBSURFACE DISPOSAL SYSTEM DETAILS

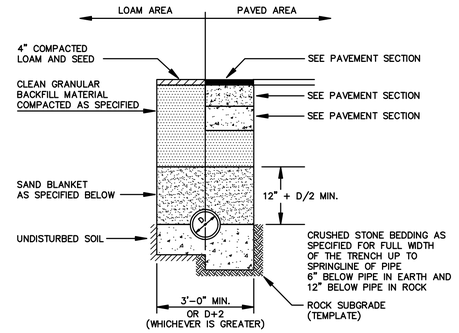
LOT No.: LOT 63, TAX MAP 9
STREET ADDRESS: 349 MAST ROAD
CITY / TOWN: MADBURY, NEW HAMPSHIRE

OWNER OF RECORD: Candia So. Branch Brook Holdings, LLC
P.O. Box 410
Candia, NH 03034

20 10 0 10 20 40 60 80
SCALE IN FEET

civilworks
engineers • surveyors
P.O. Box 1166
Dover, NH 603-749-0443

DESIGN: DCL / RJM
SCALE: AS NOTED
DATE: 3-15-2013
SHEET 8 OF 10
PROJECT # 13107



BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

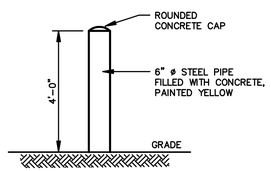
SAND BLANKET	
SIEVE SIZE	% FINER BY WEIGHT
1/2"	90 – 100
200	0 – 15

CRUSHED STONE BEDDING *	
SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 – 100
3/8"	20 – 55
# 4	0 – 10
#8	0 – 5

* EQUIVALENT TO STANDARD STONE SIZE #67 – SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

TRENCH SECTION

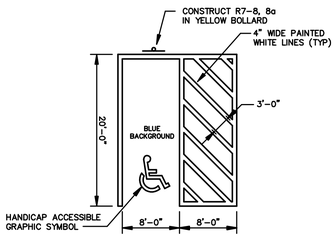
NOT TO SCALE



BOLLARDS SHALL BE BURIED TO A DEPTH AT LEAST EQUAL TO THE HEIGHT ABOVE GROUND. A CONCRETE FOOTING OR ENCASEMENT SHALL BE PROVIDED.

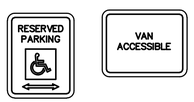
BOLLARD DETAIL

NOT TO SCALE



PARKING DETAIL – VAN ACCESSIBLE

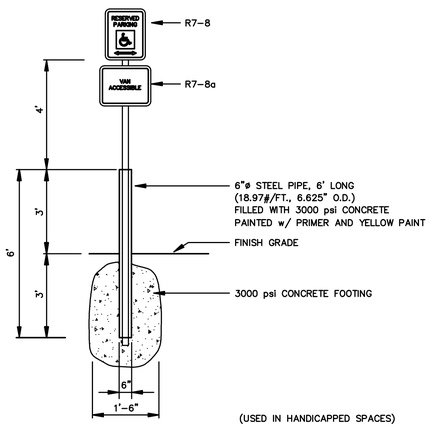
NOT TO SCALE



NOTE:
ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC DEVICES, LATEST EDITION.

SIGN DETAILS

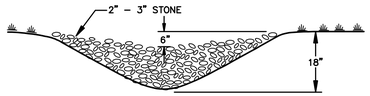
NOT TO SCALE



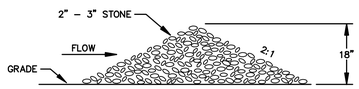
(USED IN HANDICAPPED SPACES)

HC SIGN IN BOLLARD

NOT TO SCALE



SWALE SECTION

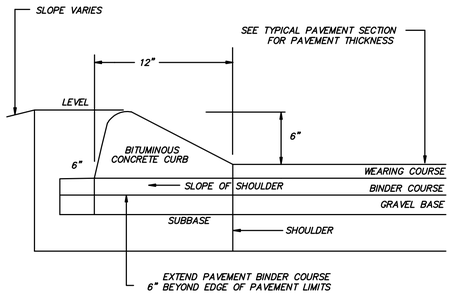


SWALE PROFILE

STONE GRADE STABILIZATION STRUCTURE DETAIL

NO SCALE

SOURCE: VIRGINIA SOIL AND WATER CONSERVATION COMMISSION



BITUMINOUS SLOPED CURB

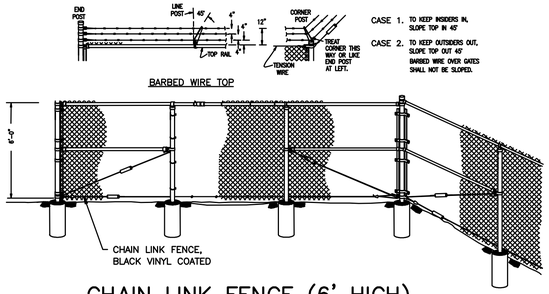
NOT TO SCALE

PERMANENT SEEDING:

1. Bedding – stones larger than 1½", trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 4" to prepare a seedbed and mix fertilizer into the soil.
2. Fertilizer – lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:
   Agricultural Limestone @ 100 lbs. per 1,000 s.f.
   10–20–20 fertilizer @ 12 lbs. per 1,000 s.f.
3. Seed Mixture (recommended):
   Rate:

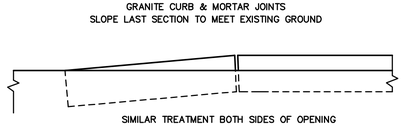
Type	LBS. per Acre	LBS per 1,000 sf
Tall Fescue	20	0.45
Creeping Red Fescue	20	0.45
Birdsfoot Trefoil	8	0.20
Total	48	1.10

4. Sodding – sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook.
   Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water coursed, easily erodible soils (fine sand/silt) etc.
5. Provide a minimum of 6 inches (7 inches loose) of topsoil to all areas to be seeded.



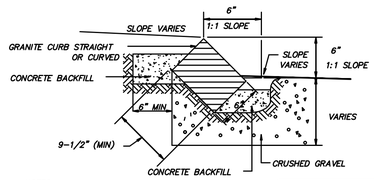
CHAIN LINK FENCE (6' HIGH) TOPPED WITH 3 STRAND BARB WIRE

NOT TO SCALE



TYPICAL CURB CUT

NOT TO SCALE

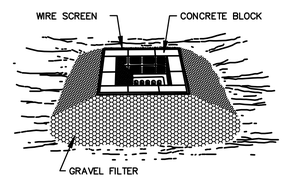


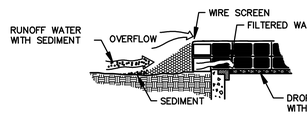
NOTES
1. ADJOINING STONES OF STRAIGHT CURB LAID ON CURVES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH
2. MINIMUM LENGTH OF STRAIGHT CURB STONES = 18"
3. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
4. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES – SEE CHART
5. NOT TO BE USED FOR RADIUS LESS THAN 10'.

RADIUS FOR STONES WITH SQUARE JOINTS	MAXIMUM LENGTH
16'-28'	1'-6"
29'-41'	2'
42'-55'	3'
56'-68'	4'
69'-82'	5'
83'-96'	6'
97'-110'	7'
OVER 110'	8'

SLOPED GRANITE CURBING

NOT TO SCALE



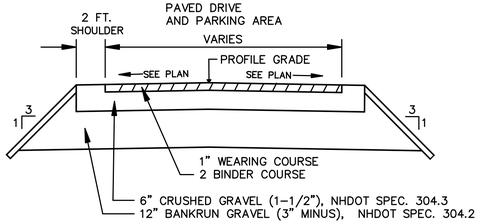


BLOCK AND GRAVEL DROP INLET SEDIMENT FILTER

TEMPORARY EROSION CONTROL TYPE "B"

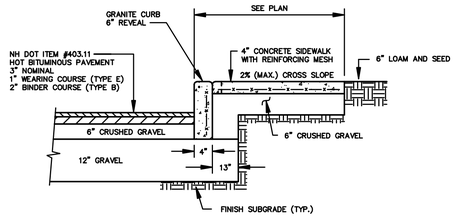
NORMAL USE AROUND CATCH BASINS
NOT TO SCALE

MAINTENANCE:
ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAIN STORM AND REPAIRS MADE AS NECESSARY. SEDIMENT SHOULD BE REMOVED FROM TRAPPING DEVICES AFTER THE SEDIMENT HAS REACHED A MAXIMUM OF ONE HALF THE DEPTH OF THE TRAP. THE SEDIMENT SHOULD BE DISPOSED OF IN A SUITABLE AREA AND PROTECTED FROM EROSION BY EITHER STRUCTURAL OR VEGETATIVE MEANS. THE TEMPORARY TRAPS SHOULD BE REMOVED AND THE AREA REPAIRED AS SOON AS THE CONTRIBUTING DRAINAGE AREA TO THE INLET HAS BEEN COMPLETELY STABILIZED.



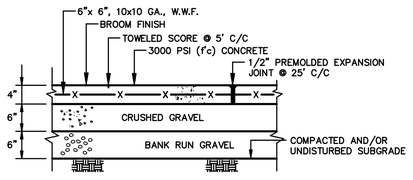
TYPICAL PAVEMENT SECTION

NOT TO SCALE



GRANITE CURB / PAVING SECTION

NOT TO SCALE



TYPICAL CONCRETE SIDEWALK SECTION

NO SCALE

No.	DATE	BY	REVISION FILE: VR CP\1964\13-1964
2	4-22-13	DCL	REVISE PER COMMENTS

MISCELLANEOUS SITE DETAILS

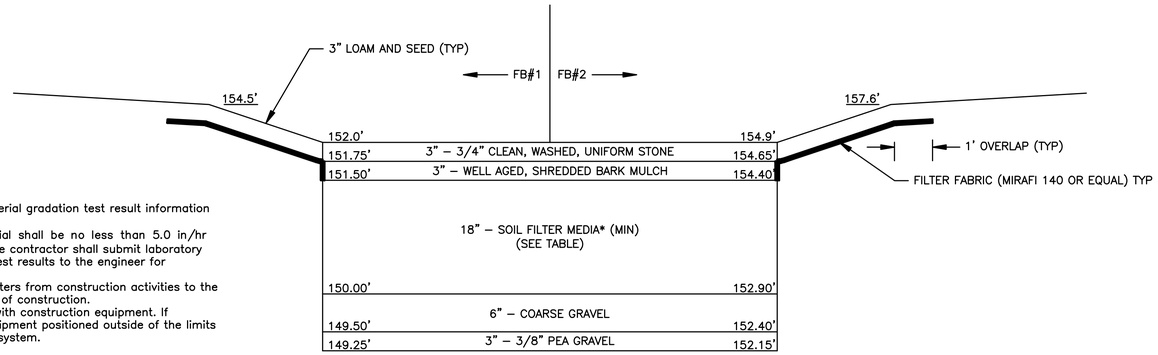
LOT No.: LOT 63, TAX MAP 9
STREET ADDRESS: 349 MAST ROAD
CITY / TOWN: MADBURY, NEW HAMPSHIRE

OWNER OF RECORD: Candia So. Branch Brook Holdings, LLC
P.O. Box 410
Candia, NH 03034

20 10 0 10 20 40 60 80
SCALE IN FEET

civilworks
engineers • surveyors
P.O. Box 1166
Dover, NH 603-749-0443

DESIGN: DCL / RJM
SCALE: AS NOTED
DATE: 3-15-2013
SHEET 9 OF 10
PROJECT # 13107



CONSTRUCTION NOTES:

1. The contractor shall submit filter material gradation test result information to the design engineer for approval.
2. The permeability of the filter material shall be no less than 5.0 in/hr and no greater than 10.0 in/hr. The contractor shall submit laboratory provided filter material permeability test results to the engineer for approval.
3. Don not discharge sediment laden waters from construction activities to the filtration basin area during any stage of construction.
4. Do not traffic exposed soil surfaces with construction equipment. If feasible, perform excavation with equipment positioned outside of the limits of the infiltration components of the system.

FILTRATION BASIN 1 & 2 (FB#1 & FB#2) DETAIL

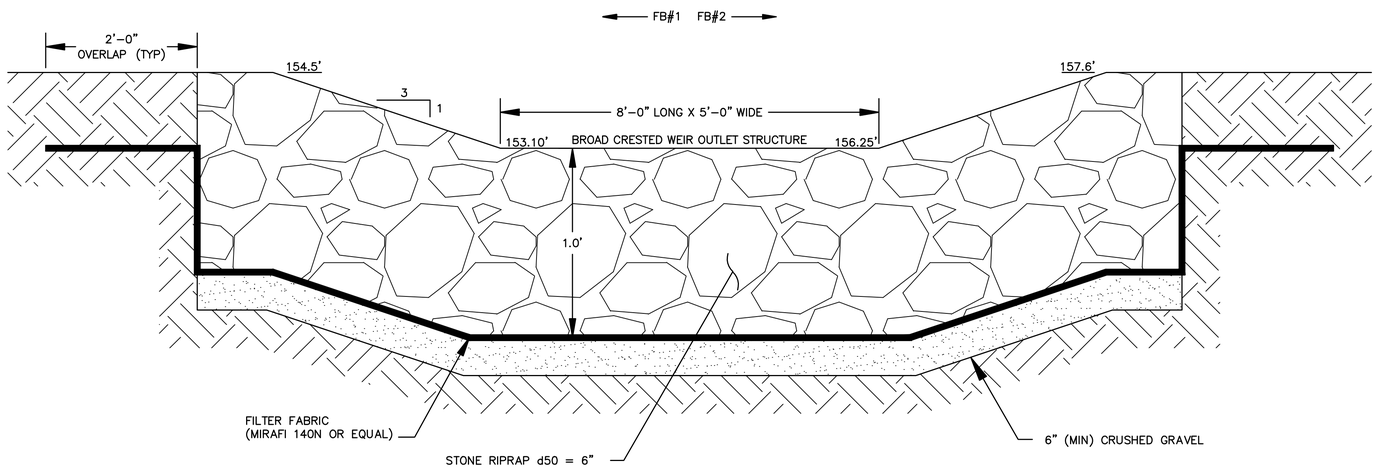
NOT TO SCALE

MAINTENANCE NOTES:

1. Filtration basins should be inspected at least twice annually, and following any rainfall event exceeding 2.5 inches in a 24 hour period, with maintenance or rehabilitation conducted as warranted by such inspection.
2. Pretreatment measures should be inspected at least twice annually, and cleaned of accumulated sediment as warranted by inspection, but no less than once annually.
3. Trash and debris should be removed at each inspection.
4. At least once annually, system should be inspected for drawdown time. If filtration basin system does not drain within 72–hours following a rainfall event, then a qualified professional should assess the condition of the facility to determine measures required to restore filtration function or infiltration function (as applicable), including but not limited to removal of accumulated sediments or reconstruction of the filter media.
5. Vegetation should be inspected at least annually, and maintained in healthy condition, including pruning, removal and replacement of dead or diseased vegetation, and removal of invasive species.

FILTRATION BASIN FILTER MEDIA

COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SIEVE
FILTER MEDIA OPTION A			
ASTM C–33 CONCRETE SAND	50 TO 55		
LOAMY SAND TOPSOIL, WITH FINES AS INDICATED	20 TO 30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
FILTER MEDIA OPTION B			
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED	20 TO 30	200	< 5
LOAMY COARSE SAND	70 TO 80	10	85 TO 100
		20	70 TO 100
		60	15 TO 40
		200	8 TO 15



STONE ARMORED BROAD CRESTED WEIR

NOT TO SCALE

No.	DATE	BY	REVISION FILE: VR CP\1964\13–1964
2	4-22-13	DCL	REVISE PER COMMENTS

MISCELLANEOUS SITE DETAILS

LOT No.: LOT 63, TAX MAP 9
STREET ADDRESS: 349 MAST ROAD
CITY / TOWN: MADBURY, NEW HAMPSHIRE

OWNER OF RECORD: Candia So. Branch Brook Holdings, LLC
P.O. Box 410
Candia, NH 03034

20 10 0 10 20 40 60 80
SCALE IN FEET

civilworks
engineers • surveyors
P.O. Box 1166
Dover, NH 603–749–0443

DESIGN: DCL / RJM
SCALE: AS NOTED
DATE: 3–15–2013
SHEET 10 OF 10
PROJECT # 13107